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LAKE COUNTY, MICHIGAN
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RECORDED
05/29/2015 2:35:42 PM
LAKE COUNTY, MI
SHELLY MYERS, REGISTER OF DEEDS

RECEIPT# 7666, STATION 1
\$26.00 OTHER DOCUMENT



Liber 377

Page 1163

**NINTH AMENDMENT TO MASTER DEED OF
PERE MARQUETTE OAKS CONDOMINIUM RV PART**

This Ninth Amendment to Master Deed is executed this 21st day of May, 2015 on behalf of Recreation Property Investors, LLC of 85 Campau Circle, NW, Grand Rapids, MI 49503 the Successor Developer under an Assignment of Developer Rights recorded in Liber 343, Page 1466, Lake County Records (hereinafter referred to as "Developer"), pursuant to the provisions of the Michigan Condominium Act, Act 59 of the Public Acts of 1978, as amended (hereinafter referred to as the "Act").

WHEREAS, the Developer of Pere Marquette Oaks Condominium RV Park, a condominium project established pursuant to the Master Deed recorded in Liber 246, Page 0646, Lake County Records, as amended and known as Lake County Condominium Subdivision Plan No. 7, desires to amend the said Master Deed and the Condominium Subdivision Plan attached thereto as Exhibit B, pursuant to the authority reserved in Articles IX and X of the said Master Deed.

WHEREAS, the Developer desires to amend the Master Deed by combining Units 86 and 87 into one unit identified as Unit 87-86.

NOW THEREFORE, upon execution and recordation in the office of the Lake County Register of Deeds of this Amendment, the affected co-owners having consented thereto, the Master Deed is hereby amended by substituting the attached Replat No. 9 of Lake County Condominium Subdivision Plat No. 7 sheets 1,3A and 4, as Exhibit B to the said Master Deed and by amending Article VI B by substituting the following in lieu thereof.

**ARTICLE VI
UNIT DESCRIPTION AND PERCENTAGE OF VALUE**

B. Percentage of Value.

The total value of the project is 100%. Based upon their market value, sixe and allocable expenses of maintenance, the respective units have been assigned the following percentages of value:

Units 1-85	1.087%
Unit 87-86	1.087%
Units 88-93	1.087%




These percentages of value shall be determinative of the proportionate share of each unit in the common expenses and proceeds of administration, the value of such unit's vote at certain meetings of the Association of co-owners, and of such unit's undivided interest in the common elements (which is hereby allocated to each unit). The percentages of value allocated to the units may be changed only with the prior written approval of each holder of a first mortgage lien on any unit in the project and with the unanimous consent of all of the co-owners expressed in a duly recorded amendment to this Master Deed (other than resulting from an expansion of the Condominium pursuant to Article IX G).

In all other respects, the original Master Deed of Pere Marquette Oaks Condominium RV Park shall continue in full force and effect.

IN WITNESS WHEREOF, the undersigned has executed this Ninth Amendment to Master Deed this 21st day of May, 2015.

WITNESSED:


RECREATION PROPERTY INVESTORS,
LLC


By: Ronald J. Helder, Member

STATE OF MICHIGAN }
COUNTY OF KENT } SS.

The foregoing instrument was acknowledged before me on May 21, 2015 by Ronald J. Helder, member of Recreation Property Investors, LLC.

PREPARED BY:
ROBERT D. STANTON, P.C.
P.O. BOX 811
BIG RAPIDS, MICHIGAN 49307


Robert D. Stanton, Notary Public
Newata County, Michigan
My Commission Expires: 5-13-16
Acting in Kent County

THE CONDOMINIUM SUBDIVISION PLAN NUMBER MUST BE ASSIGNED IN CONSECUTIVE SEQUENCE WHEN A NUMBER HAS BEEN ASSIGNED TO THIS PROJECT, IT MUST BE PROPERLY SHOWN IN THE TITLE ON THIS SHEET AND IN THE SURVEYORS CERTIFICATE ON SHEET 2.

REPLAT NO. 9 OF
LAKE COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 7
EXHIBIT B TO THE MASTER DEED OF
**PERE MARQUETTE OAKS
CONDOMINIUM RV PARK**
LAKE TOWNSHIP, LAKE COUNTY, MICHIGAN



DEVELOPER

RECREATION PROPERTIES INVESTORS, LLC
85 CAMPAU CIRCLE NW.
GRAND RAPIDS, MI 49053

SURVEYOR

MITCHELL & MORSE LAND SURVEYING
A DIVISION OF MITCHELL SURVEYS INC.,
234 VETERANS BLVD.
SOUTH HAVEN, MICHIGAN 49090

SHEET INDEX

- ^ # ◊ ● † □ ○ Δ * 1.) TITLE & PROPERTY DESCRIPTION
- # ◊ † □ ○ Δ * 2.) SURVEY PLAN & FUTURE DEVELOPMENT
- ^ # ◊ ● † □ 3A.) SITE PLAN
- ^ # ◊ ● † □ ○ Δ * 4.) UTILITY PLAN
- # ◊ 5.) DATA SHEET

PROPERTY DESCRIPTION

SITUATED IN LAKE TOWNSHIP, LAKE COUNTY, MICHIGAN

THAT PART OF THE NORTHEAST QUARTER OF SECTION 24, TOWN 17 NORTH, RANGE 14 WEST, DESCRIBED AS COMMENCING AT THE EAST QUARTER POST OF SECTION 24; THENCE NORTH 89° 35' 10" WEST ON THE EAST AND WEST QUARTER LINE, 853.50 FEET (DEEDED AS 854.48 FEET); THENCE NORTH 01° 05' 16" WEST (DEEDED AS NORTH 01° 04' 15" WEST), 191.27 FEET TO THE PLACE OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH 01° 05' 16" WEST (DEEDED AS NORTH 01° 04' 15" WEST) 231.28 FEET; THENCE NORTH 27° 05' 31" EAST 116.78 FEET (DEEDED AS NORTH 27° 35' 35" EAST 119.35 FEET); THENCE NORTH 01° 01' 34" WEST (DEEDED AS NORTH 00° 53' 47" WEST) 66.32 FEET; THENCE SOUTH 89° 13' 24" EAST (DEEDED AS SOUTH 89° 05' 09" EAST 78.82 FEET); THENCE NORTH 00° 48' 08" WEST 50.00 FEET (DEEDED AS NORTH 00° 40' 35" WEST 50.01 FEET); THENCE SOUTH 89° 13' 11" EAST (DEEDED AS SOUTH 89° 05' 09" EAST) 44.00 FEET; THENCE NORTH 00° 26' 19" WEST 86.37 FEET (DEEDED AS NORTH 00° 40' 35" WEST 86.99 FEET); THENCE SOUTH 89° 24' 40" EAST 160.00 FEET (DEEDED AS SOUTH 89° 05' 09" EAST 159.90 FEET); THENCE NORTH 01° 10' 10" WEST 88.08 FEET (DEEDED AS NORTH 00° 36' 26" WEST 88.01 FEET); THENCE SOUTH 89° 12' 52" EAST 80.06 FEET (DEEDED AS SOUTH 89° 05' 09" EAST 78.16 FEET); THENCE NORTH 01° 10' 10" WEST 504.61 FEET (DEEDED AS 503.56 FEET); THENCE NORTH 89° 38' 56" WEST (DEEDED AS NORTH 89° 42' 40" WEST) 818.43 FEET; THENCE SOUTH 01° 05' 16" EAST 1139.41 FEET; THENCE NORTH 88° 49' 47" EAST 399.83 FEET TO THE PLACE OF BEGINNING.

NOTE:

THE SYMBOL ^ AS SHOWN IN THE SHEET INDEX INDICATES AMENDED SHEETS WHICH ARE REVISED, DATED APRIL 29, 2015. THESE SHEETS WITH THIS SUBMISSION ARE TO REPLACE THOSE PREVIOUSLY ISSUED.

PROPOSED
DATED—APRIL 29, 2015

REPLAT NO. 9

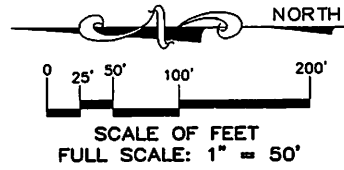
SHEET 1



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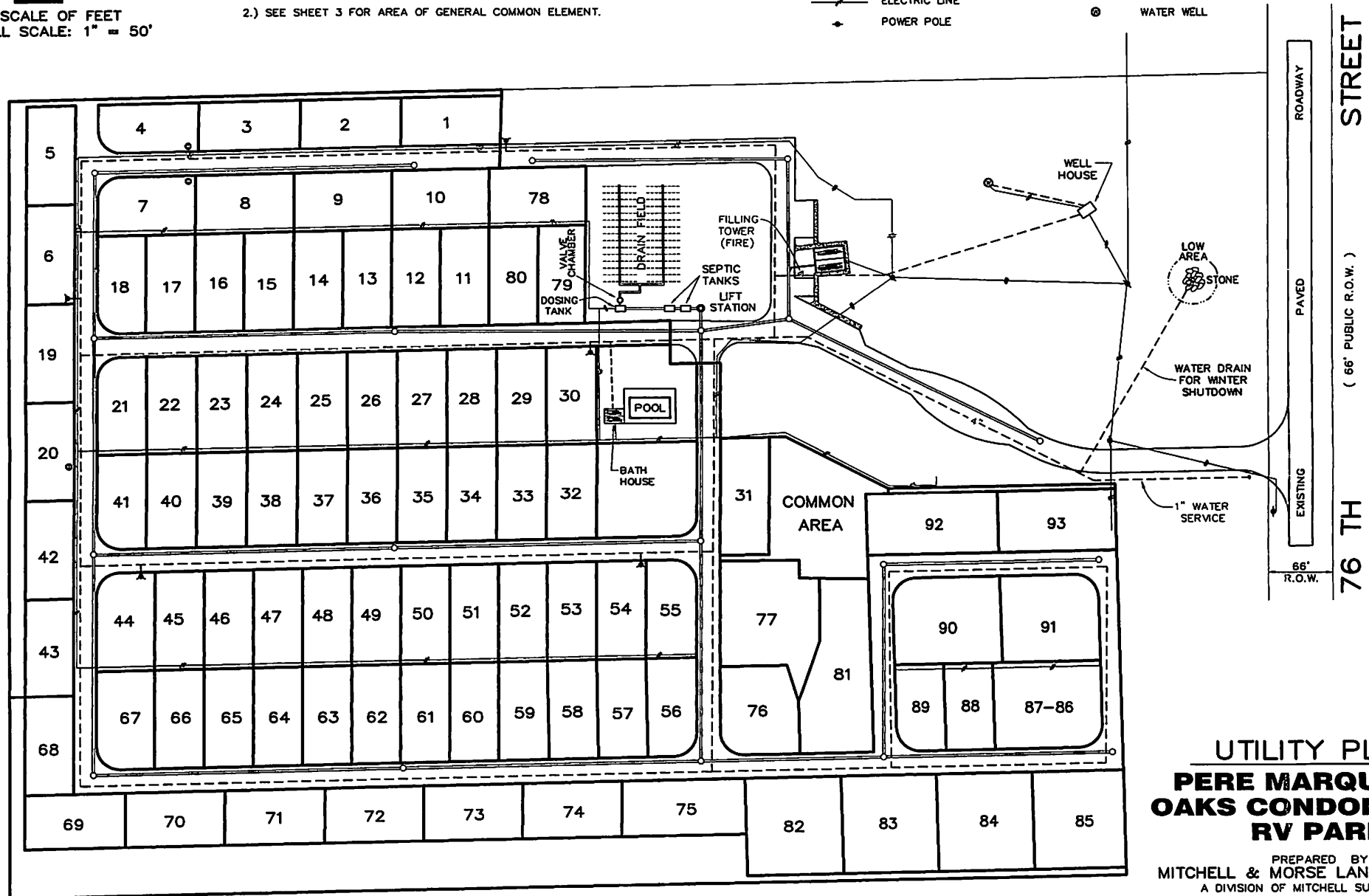


NOTES:

- 1.) ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM FIELD OBSERVATIONS, ENGINEERING PLANS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.
- 2.) SEE SHEET 3 FOR AREA OF GENERAL COMMON ELEMENT.

LEGEND

- 8" SANITARY SEWER & MANHOLE
- - - 4" PVC WATERLINE
- /— ELECTRIC LINE
- +— POWER POLE
- ▼ FIRE HYDRANT
- LEACHING BASIN
- ⊙ WATER WELL



**UTILITY PLAN
PERE MARQUETTE
OAKS CONDOMINIUM
RV PARK**

PREPARED BY
MITCHELL & MORSE LAND SURVEYING
A DIVISION OF MITCHELL SURVEYS, INC.
234 VETERANS BLVD.
SOUTH HAVEN, MICHIGAN 49090

PROPOSED
DATED—APRIL 29, 2015

REPLAT NO. 9

SHEET 4

